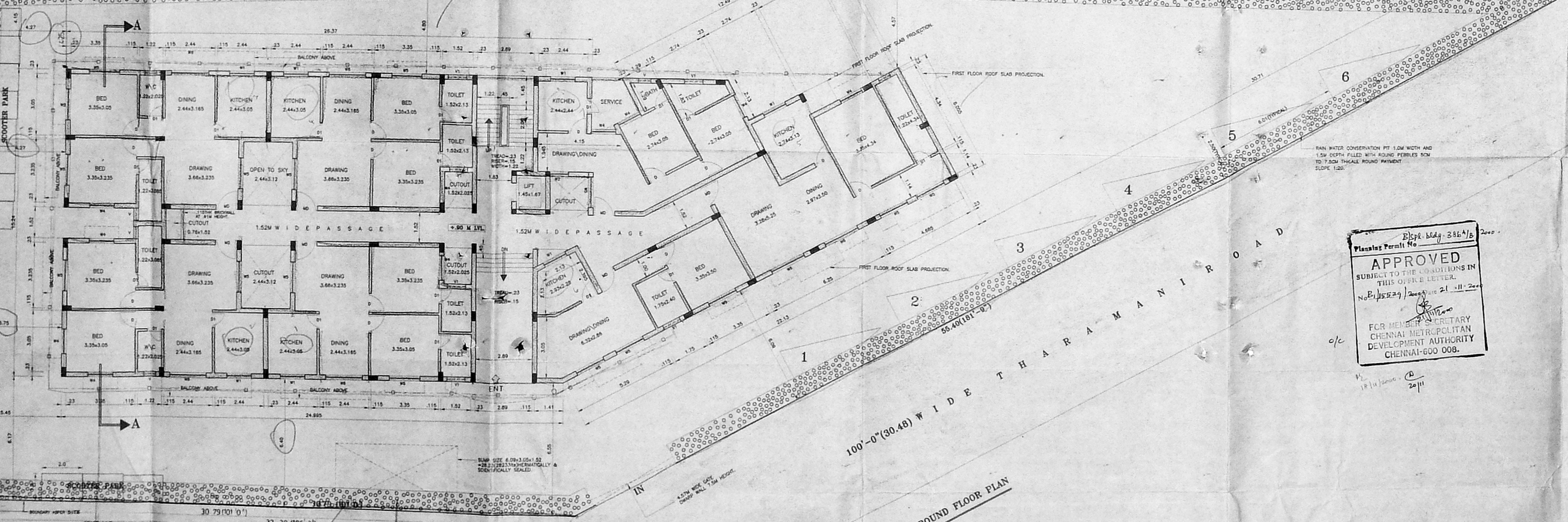


TYPICAL FLOOR PLAN
FIRST & SECOND FLOOR PLAN

TANSINAGAR 15TH STREET

PORTION OF LAND TAKEN OVER FOR ROAD PURPOSE OUT



SITE CUM GROUND FLOOR PLAN

SCHEDULE OF JOINERY

1. M.D	- MAIN DOOR	- 1.07 x 2.13
2. D	- DOOR	- 0.81 x 2.13
3. D1	- DOOR	- 0.76 x 2.13
4. W1	- WINDOW	- 1.22 x 0.91
5. W2	- WINDOW	- 0.91 x 1.37
6. W4	- WINDOW	- 1.22 x 1.37
7. W5	- WINDOW	- 1.52 x 1.37
8. W6	- WINDOW	- 1.83 x 1.37
9. V	- VENTILATOR	- 0.80 x 0.91
10. V1	- VENTILATOR	- 0.91 x 0.91

SHEET NO = 1

AREA STATEMENT

1.	ASPER SITE FOR PLOT AREA	= 1488.00 sqm
2.	ASPER PATA FOR PLOT AREA	= 1781.25 sqm
3.	GROUND FLOOR AREA	= 528.18 sqm
4.	FIRST FLOOR AREA	= 587.20 sqm
5.	SECOND FLOOR AREA	= 587.20 sqm
6.	THIRD FLOOR AREA	= 575.04 sqm
7.	TOTAL FLOOR AREA	= 2253.23 sqm
8.	ALLOWABLE F.A.(1:5)	= 2253.48 sqm
9.	PROPOSED F.S.I.	= 1.48 TIMES
10.	PLOT COVERAGE	= 36.3 %

AREA NOT INCLUDED IN F.S.I

- OVER HEAD WATER TANK AREA = 8.83 sqm
- REQUIRED CAR PARKING = 6 NOS
- PROVIDE CAR PARKING = 6 NOS
- DECK CAR PARK = 6 SQUARE METRE
- PROVIDE SCOOTER PARK = 19 NOS
- PROVIDE SCOOTER PARK = 13.04 NOS

COLOR INDEX

PROPOSED	SEWER LINE
BOUNDARY	WATER LINE
ROAD	

SCALE: 1:1000 DATE: 25-03-2005
 DRN: CHM CHD BY: N

PROPOSED RESIDENTIAL BUILDING
 IN FIELD NO : 26B \ 2B2, AT
 THARAMANI ROAD, 137 VELLACHERY
 VILLAGE, MAMBALAM TALUK,
 GUINDY, CHENNAI.
 DIVISION NO :153, ZONE NO : X

OWNER
[Signature]

LICENSED SURVEYOR
[Signature]
A. G. SRINIVASAN
 ARCHITECT
 LICENSED SURVEYOR CLASS I NO. 11
 11, EAST ROAD, WEST C.T., MADRAS,
 MADRAS - 600 026.

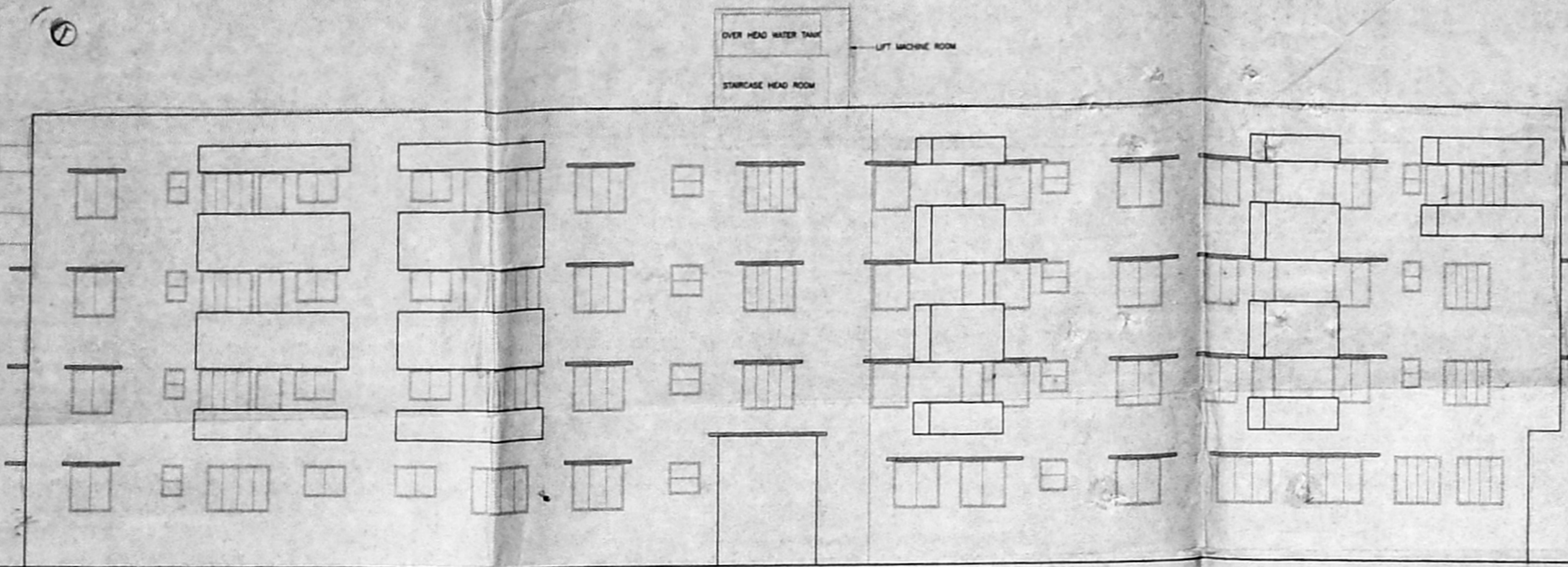
Plasmas Permit No. *Blpkr bdy 386/16*
APPROVED
 SUBJECT TO THE CONDITIONS IN
 THIS OVER LETTER.
 No. B/155229/2005 dt. 21-11-2005
 FOR MEMBER SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI-600 008.

CMDA B/1 - No. *Blpkr bdy 386/16*
 C.No. *Blpkr bdy 386/16*
 Sd/- *[Signature]*
 P.A. *[Signature]*
 A.P. 11/11

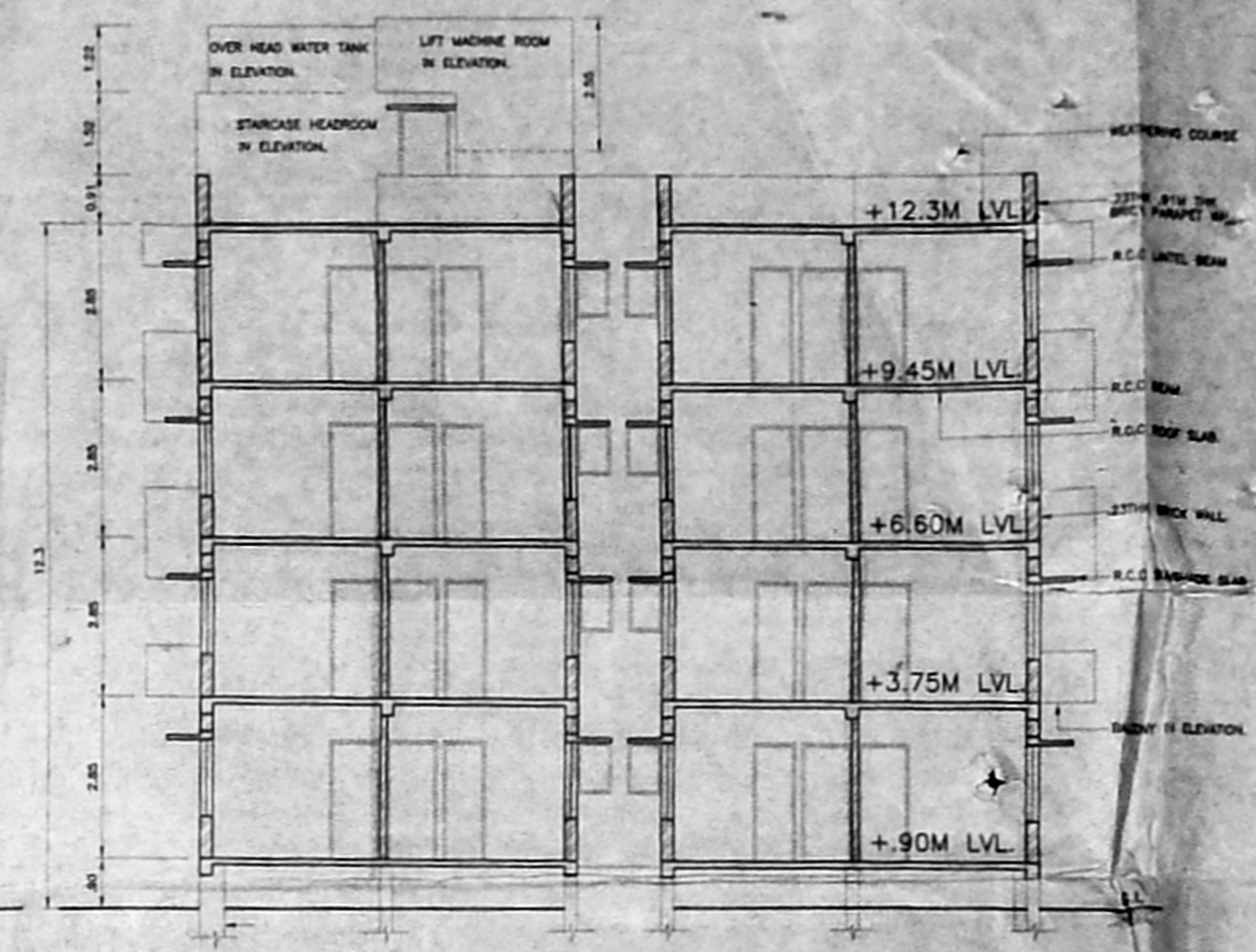
Revised Plan
 Dtd. 25/3/2005
[Signature]

TO VELLACHERY

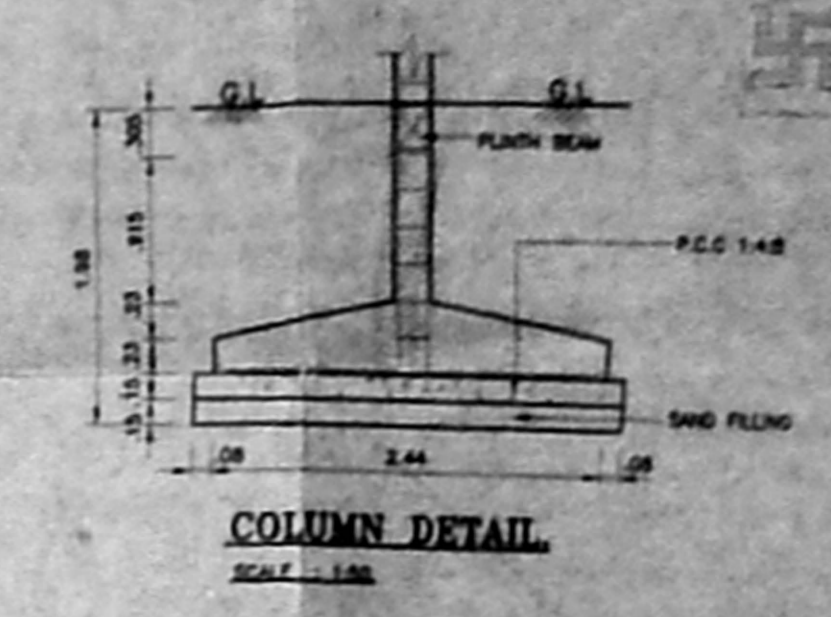
TOWARDS BESANTNAGAR



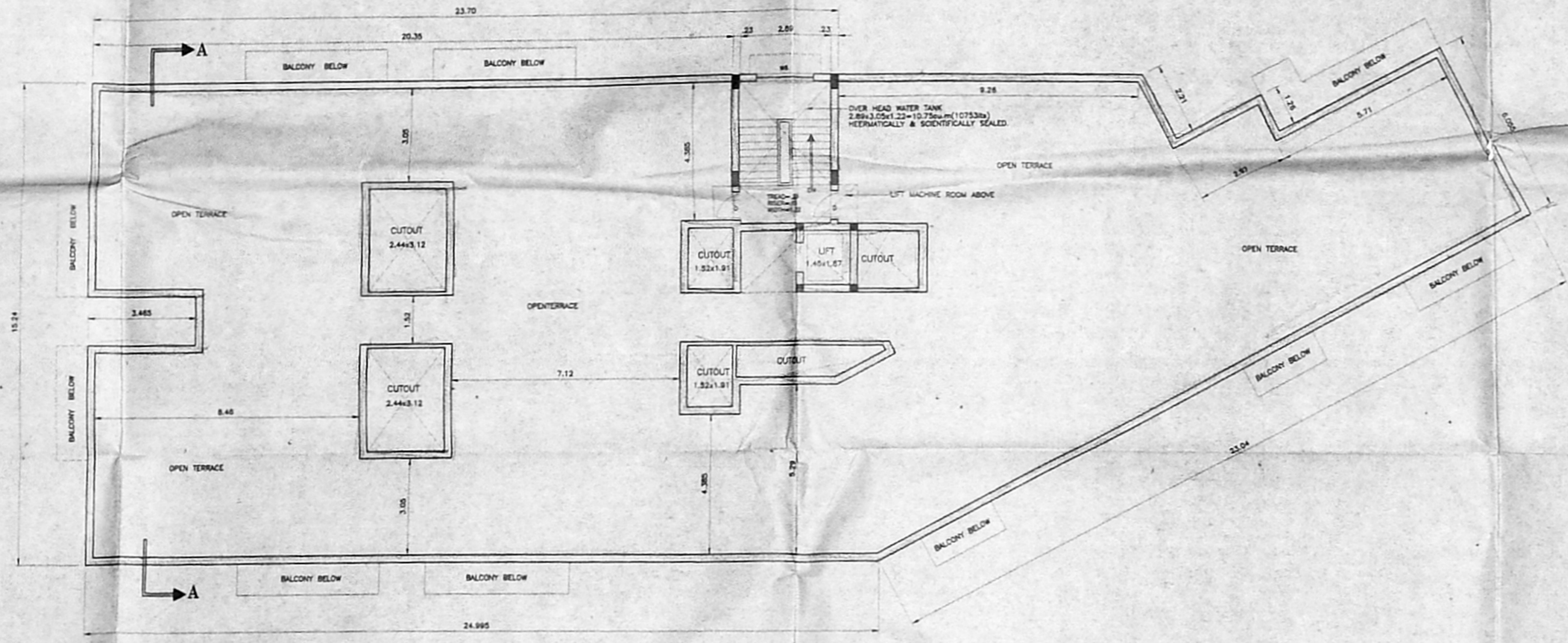
FRONT ELEVATION.



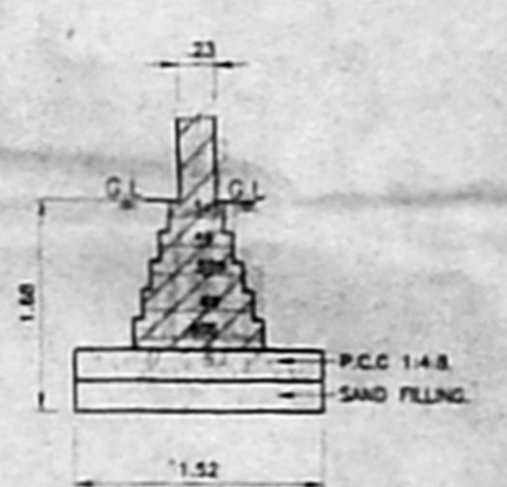
SECTION A-A.



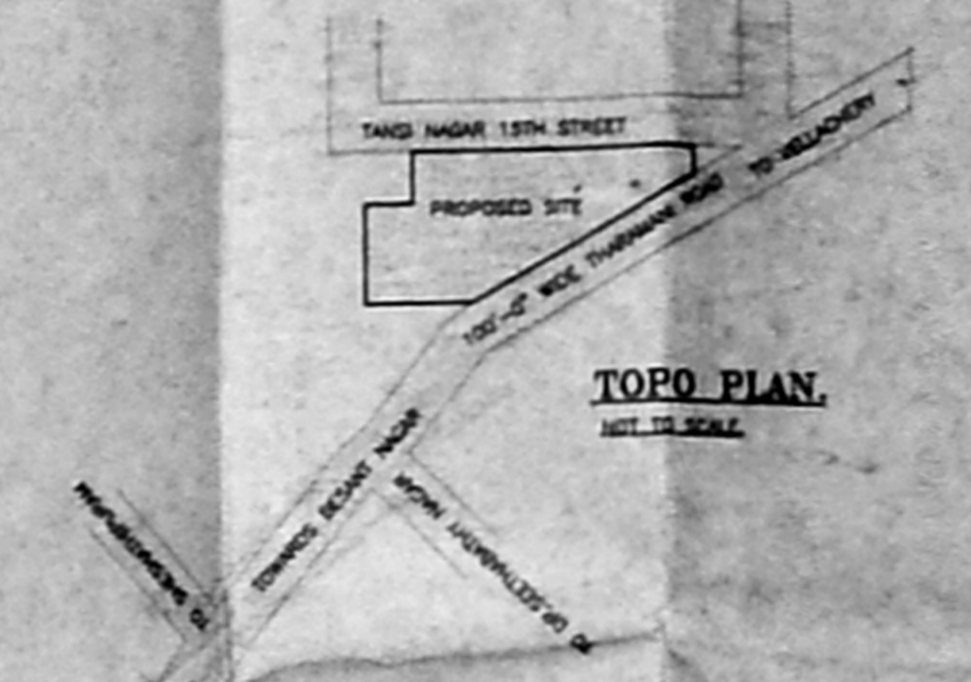
COLUMN DETAIL
 SCALE: 1:20



TERRACE FLOOR PLAN.



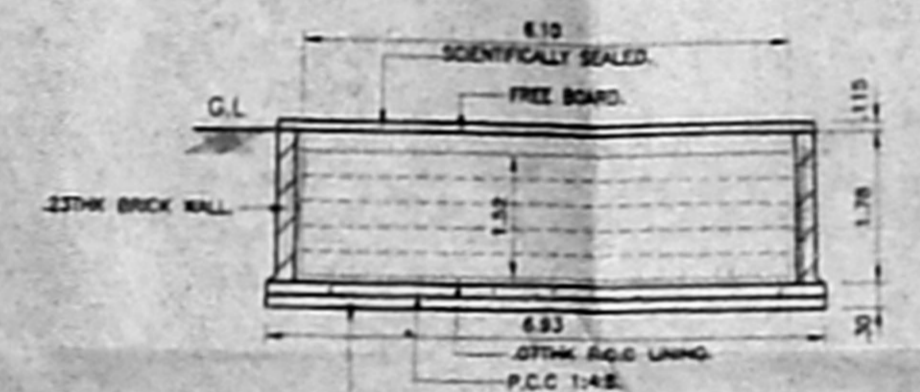
FOOTING DETAIL
 SCALE: 1:20



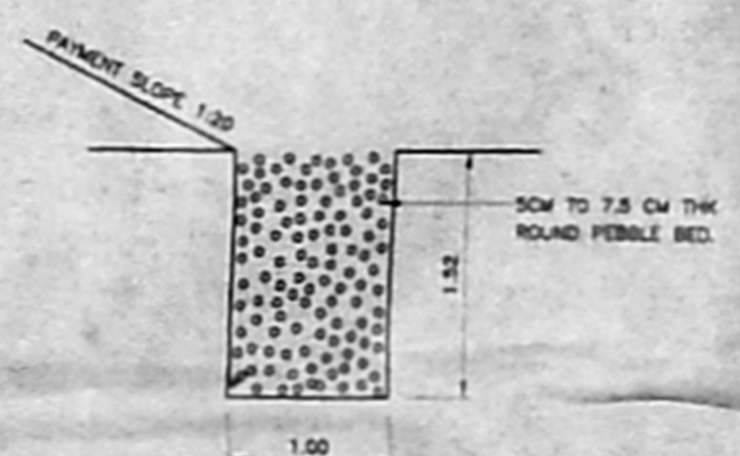
TOPO PLAN
 NOT TO SCALE

SCHEDULE OF JOINERY

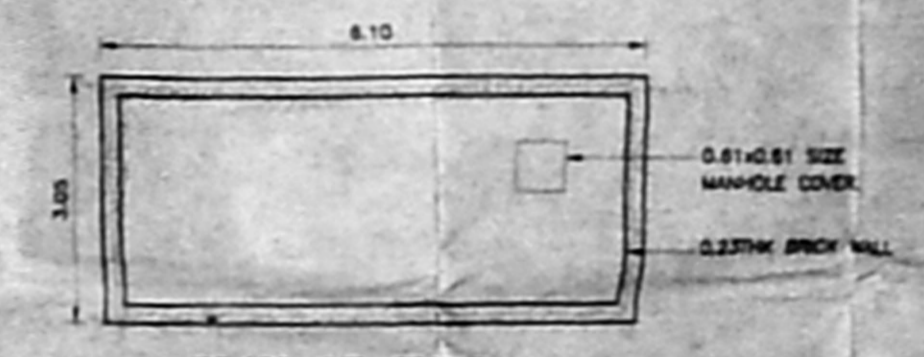
1. W.D.	- W.D. DOOR	- 1.07 x 1.13
2. D.	- DOOR	- 0.87 x 2.13
3. W1	- WINDOW	- 0.78 x 2.13
4. W2	- WINDOW	- 1.22 x 0.91
5. W3	- WINDOW	- 0.81 x 1.25
6. W4	- WINDOW	- 1.22 x 1.27
7. W5	- WINDOW	- 1.83 x 1.33
8. W6	- WINDOW	- 1.83 x 1.33
9. V	- VENTILATOR	- 0.80 x 0.81
10. V1	- VENTILATOR	- 0.81 x 0.81



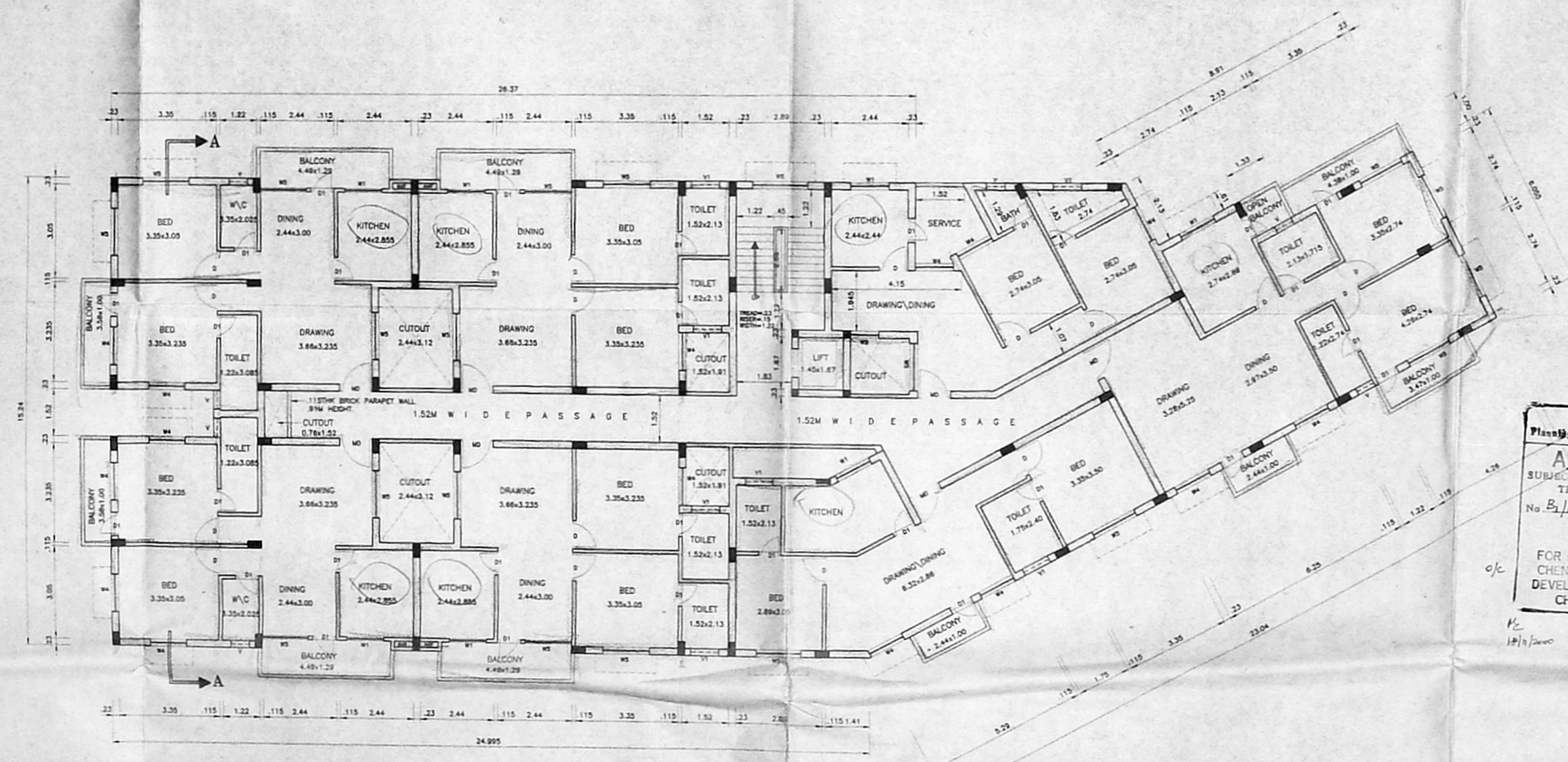
SECTION OF SUMP
 SCALE: 1:20



SECTION OF RAIN WATER PEBBLE BED
 SCALE: 1:20

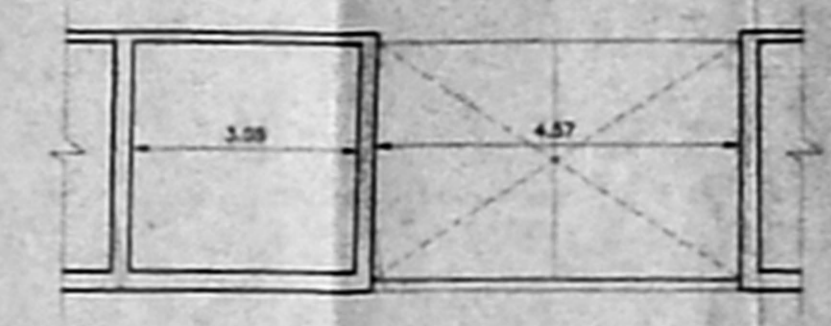


PLAN OF SUMP
 SCALE: 1:20

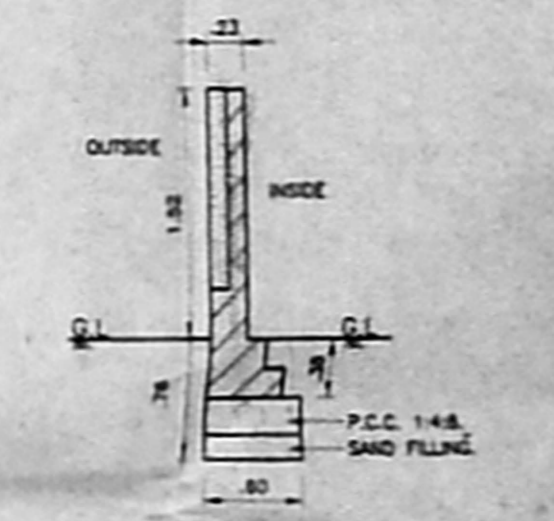


THIRD FLOOR PLAN.

APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER.
 No. P/1552/2011/10.21-11.2
 FOR MEMO: SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI-600 008.



ELEVATION.



SECTION OF COMPOUND WALL
 SCALE: 1:20

SHEET NO = 2

COLOR INDEX

PROPOSED	---	BOUNDARY	---
EXISTING	---	WATER LINE	---
ROAD	---	ROAD	---

SCALE: 1:100 DATE: 12-12-2011

PROPOSED RESIDENTIAL BUILDING
 IN FIELD NO : 268 \ 2B2, AT
 THARAMANI ROAD, 137 VELLACHERY
 VILLAGE, MAMBALAM TALUK,
 GUNDIRY, CHENNAI.
 DIVISION NO :153, ZONE NO : X

OWNER

LICENSED SURVEYOR

A.C. SRINIVASAN
 ARCHITECT
 LICENSED SURVEYOR CLASS I NO. 11
 11, EAST ROAD, WEST C.T. NAGAR,
 MADRAS - 500 035.